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SITE COVERAGE			
GROUND LIVING AREA	117.8 sq m		
GARAGE AREA	32.2 sq m		
PORCH AREA	4.5 sq m		
OUTDOOR LEISURE	12.2 sq m		
TOTAL	166.7 sq m 41.85%		
HARDSCAPE AREAS			
DRIVEWAY AREA	37 sq m		

CROSSOVER 18.1 sq m ADDITIONAL CONCRETE 60 sq m DECKING 0 sq m 97 sq m FRONT LANDSCAPED AREA LAWN AREAS GARDEN AREAS 21.6 sq m PEBBLE/GRAVEL AREAS 0 sq m MULCH AREAS 0 sq m REAR LANDSCAPED AREA LAWN AREAS 92.5 sq m GARDEN AREAS 0 sq m PEBBLE/GRAVEL AREAS 0 sq m MULCH AREAS TOTAL LANDSCAPED AREA 129.8 sq m 32.58% 59.8 sq m 15%

Job No. **209071**

Drawing: Landscape Plan

Mr & Mrs Dagher

Address: Lot 7, 14 Avoca Avenue

Belfield

Lodgement/Council:

D.A/C.C - Canterbury

Date Drawn: Drawn: Sheet: 01 of 05 23/09/22 JQ

Scale: 1:200



Client Signatures:

3.3%

120

3662

460

7492



1300 855 775

ACID SULFATE SOILS CLASS 4

STORMWATER DRAINAGE TBC. SUBJECT TO HYDRAULIC ENGINEER DETAILS.

Any existing trees are to be protected in accordance with Council's Tree Preservation Order

LANDSCAPE SPECIFICATION

1. SITE PREPARATION

Area to be free of weeds and debris before the commencement of any landscape works. Weeds are to be sprayed with Glyphosate solution, leave adequate time for the weeds to die off prior to removal. Final levels and grades are to be determined at site inspection by the landscape contractor. The landscape plan is to be used as an indication only.

2. LAWN AREAS

Excavate all areas to be turfed to 75mm below required finished levels. Do not excavate within 1500mm of the trunk of any existing tree to be retained. Ensure that all surface water runoff is directed towards the inlet pits, kerbs etc. and away from buildings. Ensure that no pooling or ponding will occur. Install 75mm depth of imported topsoil. Just prior to laying turf, spread 'Sir Launcher' fertiliser at the recommended rate. Lay turf rolls closely butted. Fill any small gaps with topsoil. Water thoroughly. Turf to be used shall be a Buffalo sp.

Ensure that planting areas have been excavated to 250mm below finished levels. Supply and install 250mm of premium garden mix free of weeds, seeds and any foreign material. Topsoil Shall be either imported topsoil or stockpiled site topsoil (if suitable ie, no clay). Install 75mm depth of Pine Bark Mulch.

4. SHRUB PLANTING

All plants shall be supplied in good condition exhibiting good form and vigour, free from all pests and diseases. The hole is to be dug to a radius twice the width of the rootball of the plant, ensuring that the top of the pot is the same height as the adjacent ground level. The roots should be gently teased to promote healthy root growth and discourage girdling (pot bound circular root growth). Leave mulch free from around the base of the plants. Water well after planting.

5. TREE PLANTING

Trees shall be supplied in good condition exhibiting good form and vigour, free from all pests and diseases. The hole is to be dug to a radius twice the width of the rootball of the tree. Tree pit and plant container are to be thoroughly watered prior to planting. The roots should be gently teased to promote healthy root growth and discourage girdling (Pot bound circular root growth). The tree is to be planted so that the base of the tree is level with the top of the ground. Backfill with a mixture of imported soil and natural soil, or imported soil only. Mulch should be kept clear of the base to prevent collar rot. Water well after planting.

6. CONCRETE PATHS

Concrete pathways are to be installed to a minimum depth of 100mm and include reinforcement. Concrete areas are to conform to relevant Australian standards.

7. GARDEN EDGING

Garden edging is to be installed to all garden beds where no divide exists between garden and lawn areas. Use Havenbrick 50 by Adbri Masonry, or similar. The pavers are to be laid on a minimum of 40mm of mortar, with no mortar joint between the pavers. Refer to the brick edging typical detail.

1800mm high timber lapped and capped or colourbond fences, unless otherwise specified by council or estate requirements. Retain existing fences where possible. Final fence type and colour to be confirmed with neighbour as required, prior to installation.

INDICATIVE PLANT SCHEDULE

Symbol	Туре	Botanic Name	Common Name	Qty	Pot Size
	Small/ Medium Trees	Ceratopetalum gummiferum Elaeocarpus reticulatus Tristaniopsis laurina Waterhousea floribunda	NSW Christmas Bush Blueberry Ash Water Gum Weeping Lilly Pilly	1	25Ltr
	Hedges	Acmena smithii 'Cherry Surprise' Buxus japonica Syzygium australe 'Tiny Trev'	Cherry Surprise Lilly Pilly Japanese Box Tiny Trev Lilly Pilly	33	200mm
	Tall Grasses/Accent Plants	Alpinia zerumbet Crinum pedunculatum Doryanthes excelsa Rhapis excelsa	Shell Ginger Swamp Lily Gymea Lily Rhaphis Palm	6	200mm
****	Small Grasses	Dianella 'Silver Streak' Dianella tasmanica 'Tasred' Liriope muscari 'Stripey White' Liriope muscari	Silver Streak Flax Lily Dianella Tasred Liriope Stripey White Lily Turf	8	150mm

^{**} THIS PLANT SCHEDULE IS CONCEPTUAL ONLY **

Revision Schedule

Issue	Description	Ву	Date
Α	SUBMISSION PLANS	JQ	23/09/22
В	PORCH & CROSSOVER	CV	26/05/23

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HARDSCAPE AREAS		
DRIVEWAY AREA	37 sq m	
CROSSOVER	18.1 sq m	
ADDITIONAL CONCRETE	60 sq m	
DECKING	0 sq m	
TOTAL (exc. crossover)	97 sq m	24.35%
FRONT LANDSCAPED AREA		
LAWN AREAS	15.6 sq m	
GARDEN AREAS	21.6 sq m	
PEBBLE/GRAVEL AREAS	0 sq m	
MULCH AREAS	0 sq m	
REAR LANDSCAPED AREA		
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MINIMUM LANDSCAPE REQUIREMENT:	59.8 sq m	15%

Job No. **209071**

Drawing: Plant List/Specification

Mr & Mrs Dagher

Address: Lot 7, 14 Avoca Avenue **Belfield**

Lodgement/Council:

D.A/C.C - Canterbury

Date Drawn: Drawn: Sheet: 23/09/22 JQ 02 of 05

Scale: 1:200



Client Signatures:

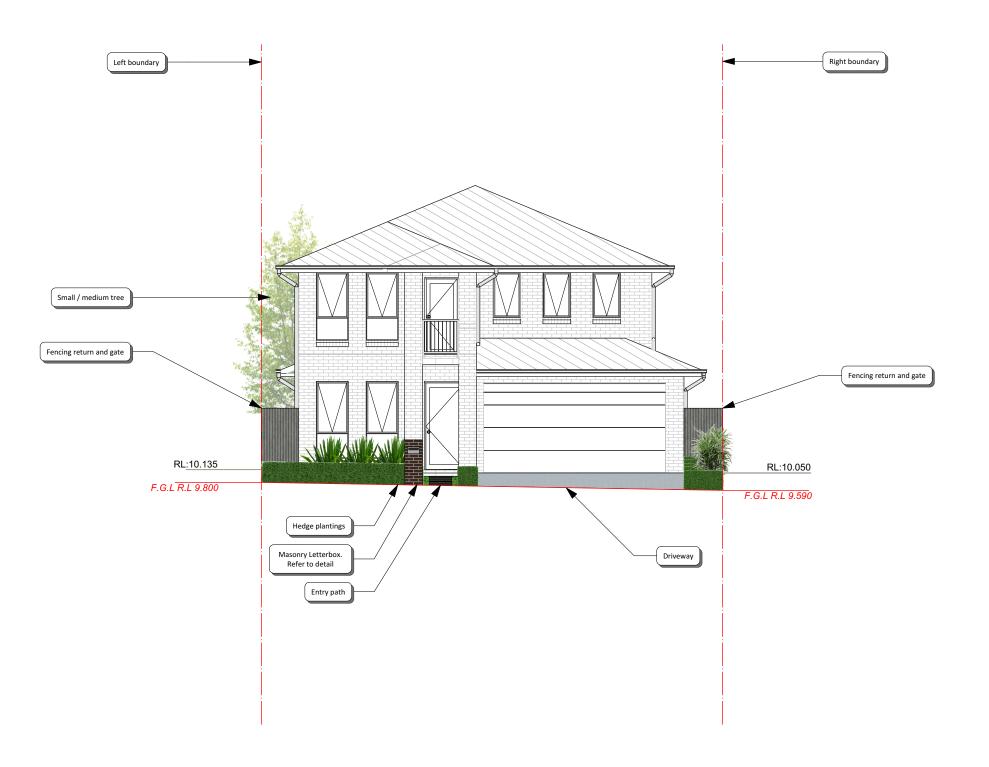
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SMALL/MEDIUM TREES



FRONT ELEVATION AA (DIAGRAMMATIC ONLY)

SCALE 1:100

Revision Schedule

Issue	Description	Ву	Date
Α	SUBMISSION PLANS	JQ	23/09/22
В	PORCH & CROSSOVER	CV	26/05/23

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	59.8 sq m	15%
MINIMUM LANDSCAPE REQUIREMENT:	m pa o.ec	1370

Job No. **209071**

Drawing: **Elevation**

Client: Mr & Mrs Dagher

Address: Lot 7, 14 Avoca Avenue Belfield

Lodgement/Council:

D.A/C.C - Canterbury

Date Drawn: Drawn: Sheet: 23/09/22 JQ 03 of 05

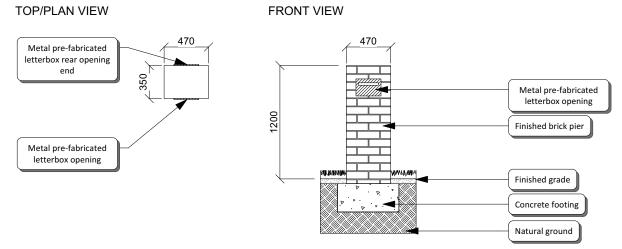
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Client Signatures:

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NOTES:

- 1. COLOURS CHOSEN ARE TO COMPLIMENT THE DWELLING
- 2. ENSURE THAT NO PART OF THE FOOTING IS EXPOSED
- 3. ENSURE NO CEMENT IS LEFT ON THE LETTERBOX OPENING AND BRICKWORK

LETTERBOX DETAIL

SCALE 1:40

SHRUB/GROUNDCOVER/GRASS PLANTING DETAIL

1. PLANTS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS & DISEASES

2. MULCH SHOULD BE SPREAD TO THE DEPTH SPECIFIED

3. WATER ADEQUATELY AFTER INSTALLATION

4. REFER TO PLAN FOR SPACING

SCALE 1:30

75mm thick layer

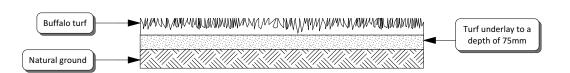
of mulch as

specified

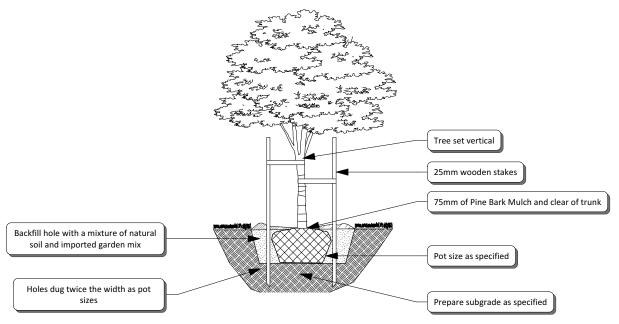
Natural ground

NOTES:

MANOR VANAMANTANAMANANA



- 1. TURF ROLLS ARE TO BE FREE OF PESTS & DISEASES WITH ADEQUATE ROOTS PRESENT
- 2. ENSURE AN EVEN GRADE OF TURF UNDERLAY
- 3. WATER ADEQUATELY AFTER INSTALLATION



NOTES:

- 1. PLANTS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS & DISEASES
- 2. MULCH SHOULD BE SPREAD TO THE DEPTH SPECIFIED
- 3. WATER ADEQUATELY AFTER INSTALLATION

TURF DETAIL

SCALE 1:20

TREE PLANTING DETAIL

SCALE 1:50

Revisi	on Schedule		
Issue	Description	Ву	Date
Α	SUBMISSION PLANS	JQ	23/09/22
В	PORCH & CROSSOVER	CV	26/05/23

Finish grade

250mm of premium garden mix

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Lodgement/Council:

D.A/C.C - Canterbury

Sheet: Date Drawn: Drawn: 23/09/22 JQ 04 of 05

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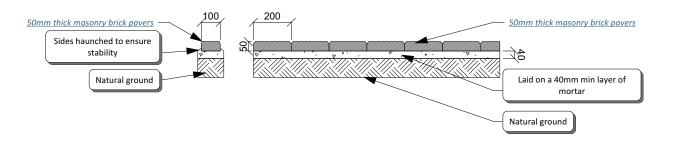


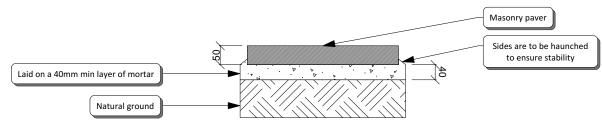
Client Signatures:

2.



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2. ENSURE THAT THE GROUND IS BELOW IS ADEQUATELY COMPACTED BEFORE LAYING THE MORTAR LAYER

NOTES:

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- 2. ENSURE THAT THE GROUND IS BELOW IS ADEQUATELY COMPACTED BEFORE LAYING THE MORTAR LAYER
- 3. ANY LAWN AREAS SHOULD BE BUTTED UP CLOSELY TO THE BRICK EDGING

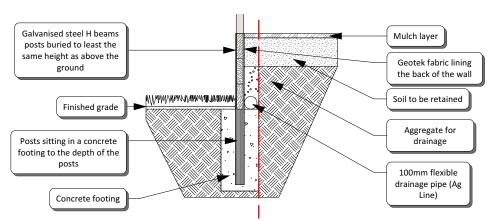
BRICK EDGING DETAIL

SCALE 1:20

STEPPING STONE DETAIL

SCALE 1:10

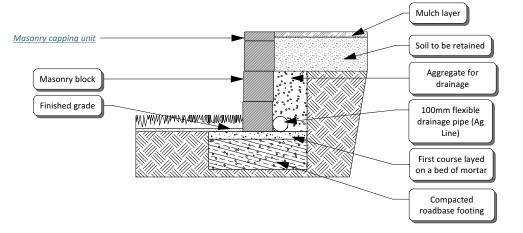
SECTION



SECTION

1. COLOURS CHOSEN ARE TO COMPLIMENT THE DWELLING

3. ANY SURFACE AREAS SHOULD BE BUTTED UP CLOSELY TO THE STEPPING STONES



- 1. THE DRAINAGE PIPE IS TO HAVE A CONTINUOUS DOWN SLOPE TO ENSURE ADEQUATE DRAINAGE
- 2. ENSURE THAT NO PART OF THE FOOTING IS EXPOSED
- 3. THE GROUND BELOW THE RETAINING WALL SHOULD HAVE A SLIGHT SLOPE AWAY FROM THE WALL
- SO THAT WATER DRAINS AWAY
- 4. ALL DRAINAGE AND AG LINES ASSOCIATED WITH RETAINING WALLS ARE TO BE CONTAINED FULLY WITHIN THE SUBJECT PROPERTY

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TIMBER & GALVANISED POST RETAINING WALL DETAIL

SCALE 1:30

MASONRY RETAINING WALL DETAIL

SCALE 1:25

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В	PORCH & CROSSOVER	CV	26/05/23

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