

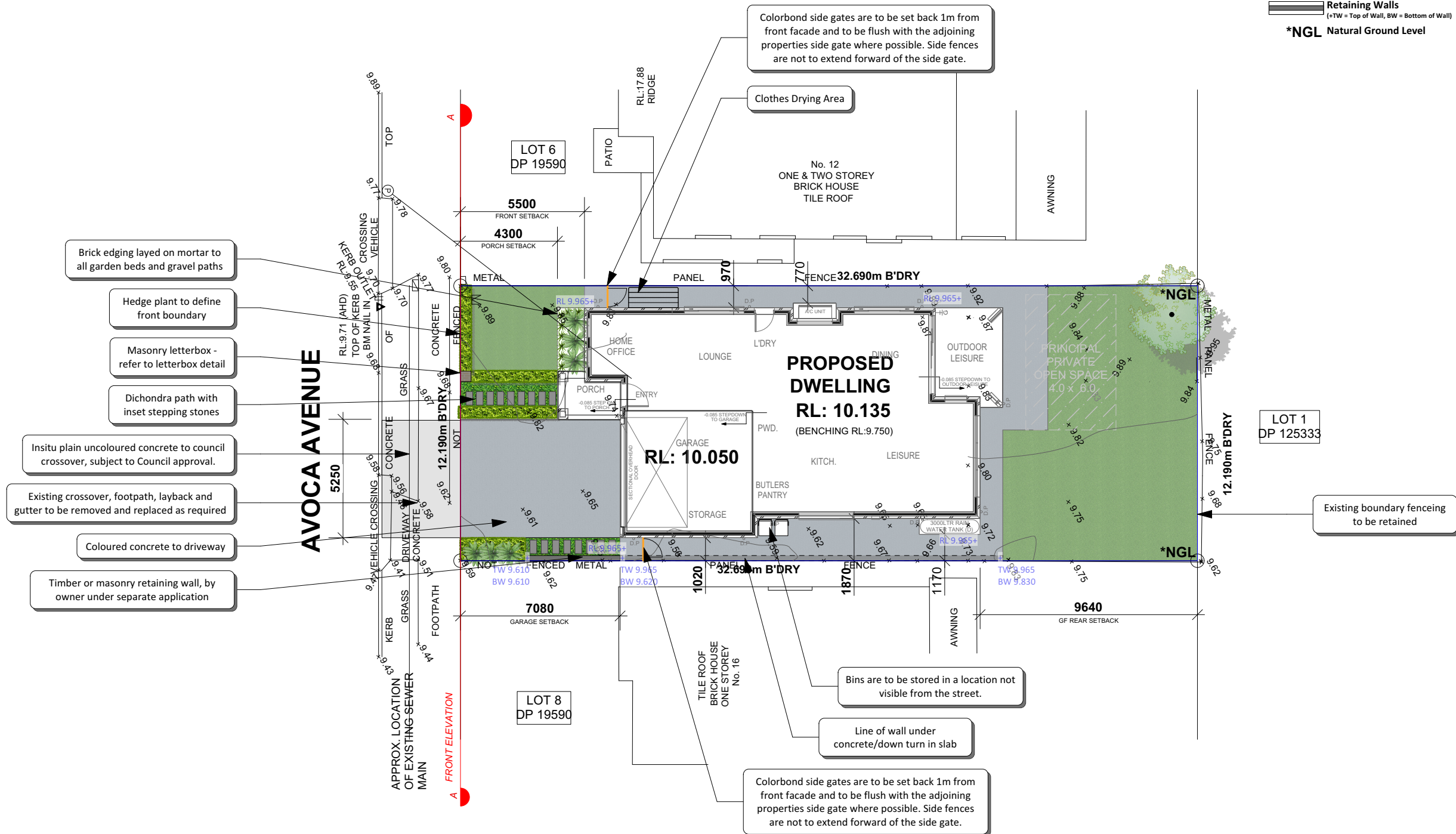
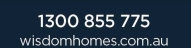
Revision Schedule			
Issue	Description	By	Date
A	SUBMISSION PLANS	JQ	23/09/22
B	PORCH & CROSSOVER	CV	26/05/23

General Notes:

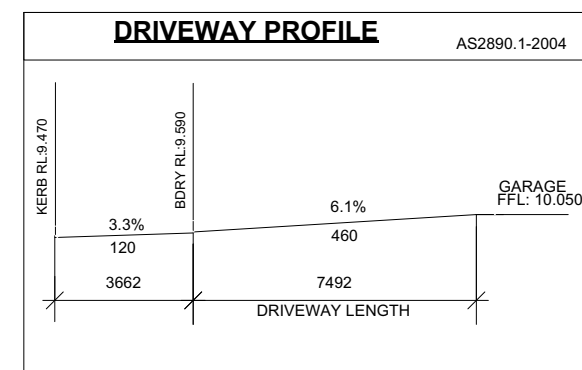
1. See Architects drawings for site levels, setbacks and extent of cut and fill.
2. All civil, structural and hydraulic work associated with this project shall be to consulting engineer's details.
3. Landscape plan has been drawn to meet minimum council/ developer requirements. Landscape works additional to minimum requirements may also be proposed on this plan. Completion of works beyond minimum requirements will be at discretion of owner.
4. Exact location of site boundaries are to be confirmed on site prior to commencement of work
5. All landscape levels and dimensions shown on plan are to finished levels
6. This plan is indicative only and not for construction purposes.

SITE CALCULATIONS		m2
LOT AREA		398.4 sq m
SITE COVERAGE		
GROUND LIVING AREA		117.8 sq m
GARAGE AREA		32.2 sq m
PORCH AREA		4.5 sq m
OUTDOOR LEISURE		12.2 sq m
TOTAL	166.7 sq m	41.85%
HARDSCAPE AREAS		
DRIVEWAY AREA		37 sq m
CROSSOVER		18.1 sq m
ADDITIONAL CONCRETE		60 sq m
DECKING		0 sq m
TOTAL (exc. crossover)	97 sq m	24.35%
FRONT LANDSCAPED AREA		
LAWN AREAS		15.6 sq m
GARDEN AREAS		21.6 sq m
PEBBLE/GRAVEL AREAS		0 sq m
MULCH AREAS		0 sq m
REAR LANDSCAPED AREA		
LAWN AREAS		92.5 sq m
GARDEN AREAS		0 sq m
PEBBLE/GRAVEL AREAS		0 sq m
MULCH AREAS		0 sq m
TOTAL LANDSCAPED AREA	129.8 sq m	32.58%
MINIMUM LANDSCAPE REQUIREMENT:	59.8 sq m	15%

- 1.
- 2.



Any existing trees are to be protected in accordance with Council's Tree Preservation Order



1. SITE PREPARATION

2. LAWN AREAS

3. GARDEN AREAS

4. SHRUB PLANTING

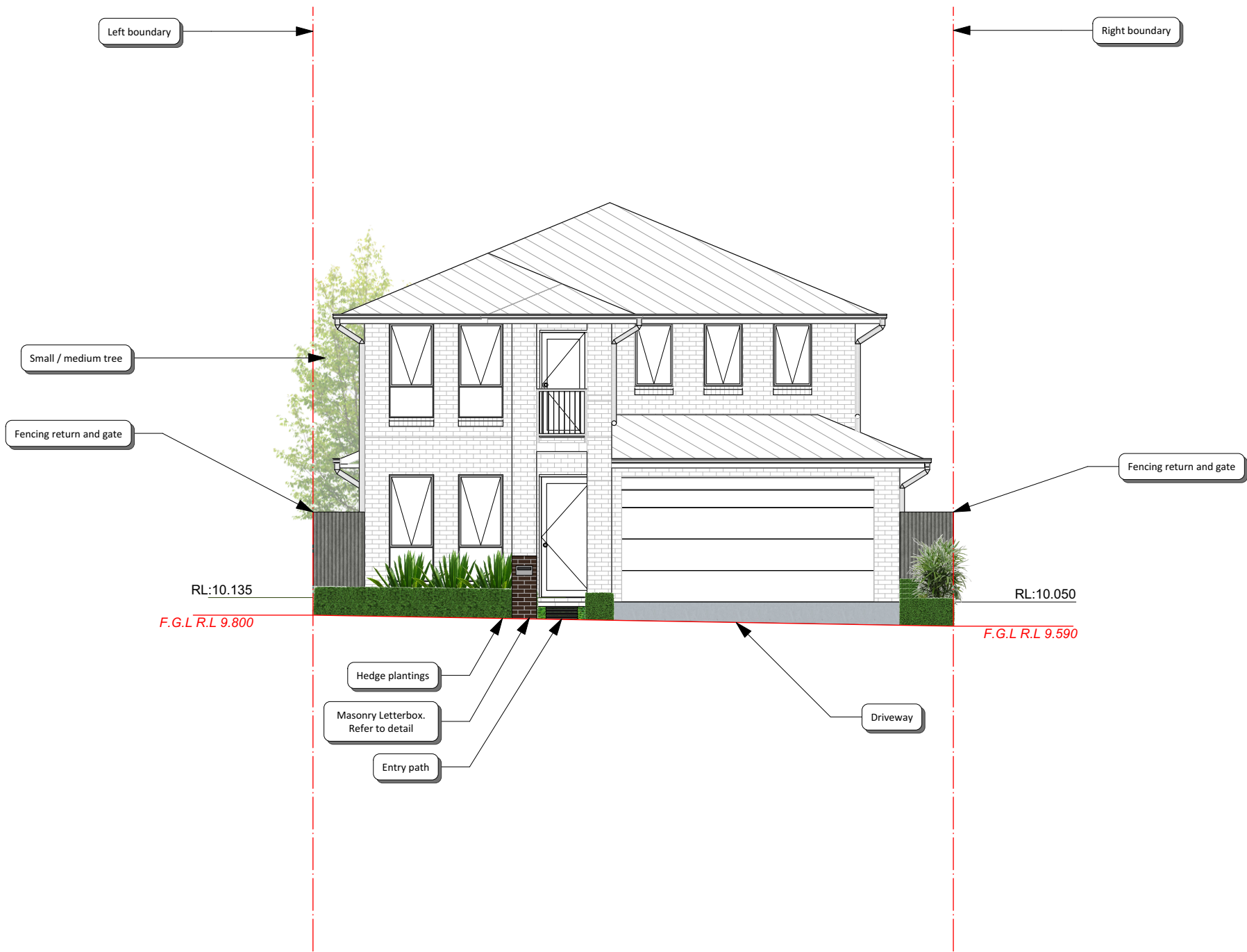
5. TREE PLANTING

6. CONCRETE PATHS

7. GARDEN EDGING

8. FENCING

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FRONT ELEVATION AA (DIAGRAMMATIC ONLY)

SCALE 1:100

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Job No. 209071

Drawing: Elevation

Client: Mr & Mrs Dagher

Address: Lot 7, 14 Avoca Avenue
Belfield

Lodgement/Council:
D.A/C.C - Canterbury

Date Drawn: 23/09/22	Drawn: JQ	Sheet: 03 of 05
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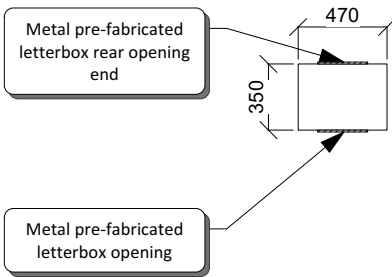
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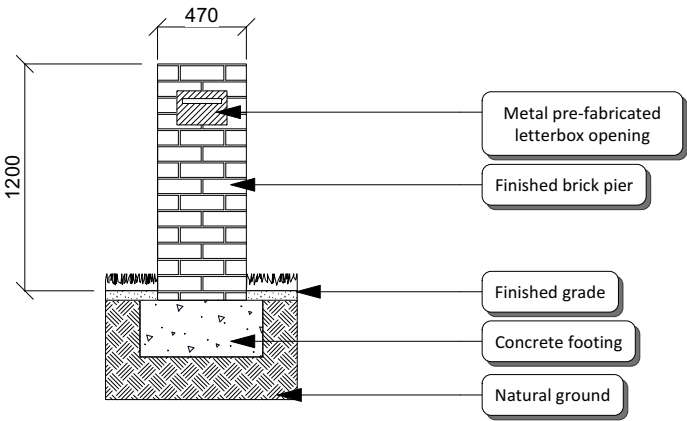
Client Signatures:

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TOP/PLAN VIEW



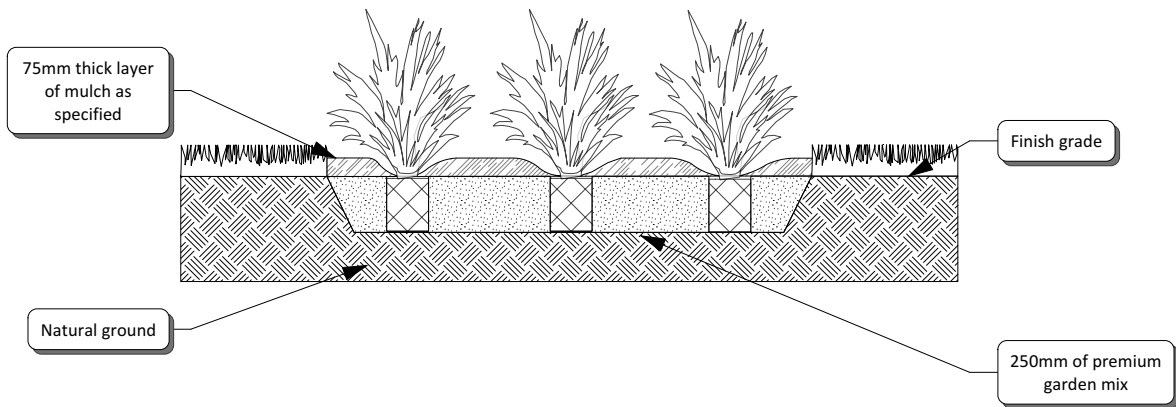
FRONT VIEW



- NOTES:
- 1. COLOURS CHOSEN ARE TO COMPLIMENT THE DWELLING
 - 2. ENSURE THAT NO PART OF THE FOOTING IS EXPOSED
 - 3. ENSURE NO CEMENT IS LEFT ON THE LETTERBOX OPENING AND BRICKWORK

LETTERBOX DETAIL

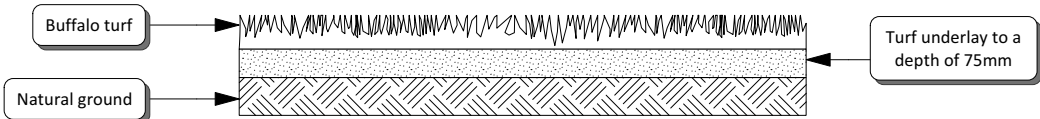
SCALE 1:40



- NOTES:
- 1. PLANTS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS & DISEASES
 - 2. MULCH SHOULD BE SPREAD TO THE DEPTH SPECIFIED
 - 3. WATER ADEQUATELY AFTER INSTALLATION
 - 4. REFER TO PLAN FOR SPACING

SHRUB/GROUNDCOVER/GRASS PLANTING DETAIL

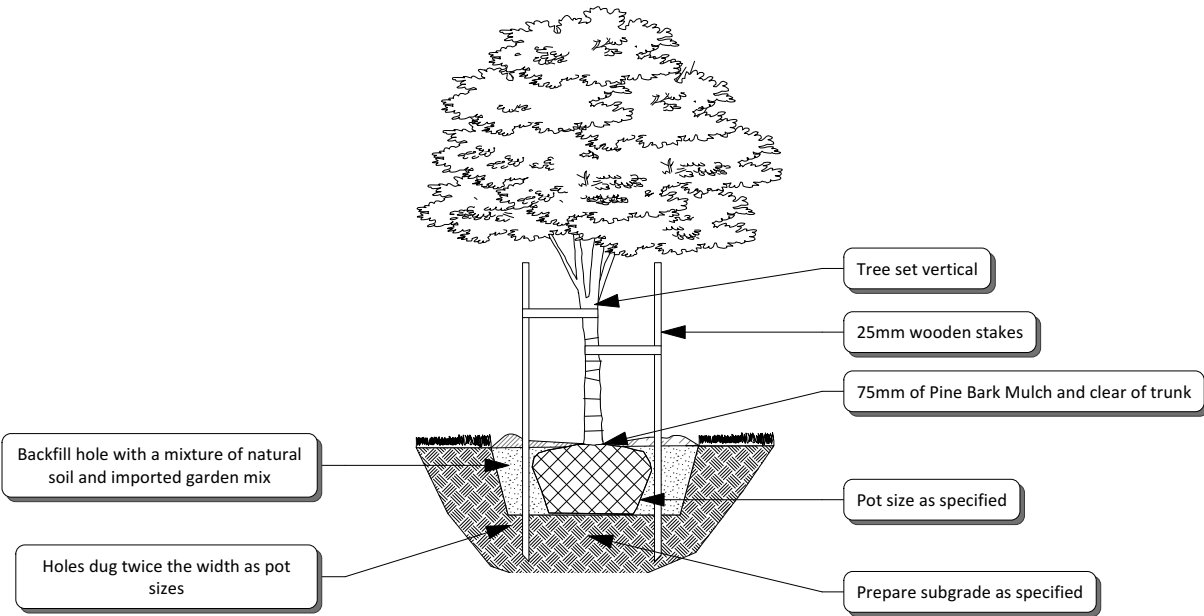
SCALE 1:30



- NOTES:
- 1. TURF ROLLS ARE TO BE FREE OF PESTS & DISEASES WITH ADEQUATE ROOTS PRESENT
 - 2. ENSURE AN EVEN GRADE OF TURF UNDERLAY
 - 3. WATER ADEQUATELY AFTER INSTALLATION

TURF DETAIL

SCALE 1:20



- NOTES:
- 1. PLANTS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS & DISEASES
 - 2. MULCH SHOULD BE SPREAD TO THE DEPTH SPECIFIED
 - 3. WATER ADEQUATELY AFTER INSTALLATION

TREE PLANTING DETAIL

SCALE 1:50

Revision Schedule

Issue	Description	By	Date
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B	PORCH & CROSSOVER	CV	26/05/23

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TOTAL LANDSCAPED AREA	129.8 sq m	32.58%
MINIMUM LANDSCAPE REQUIREMENT:	59.8 sq m	15%

Job No. 209071

Drawing: Details

Client: Mr & Mrs Dagher

Address: Lot 7, 14 Avoca Avenue
Belfield

Lodgement/Council:
D.A/C.C - Canterbury

Date Drawn: 23/09/22	Drawn: JQ	Sheet: 04 of 05
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Scale: 1:200

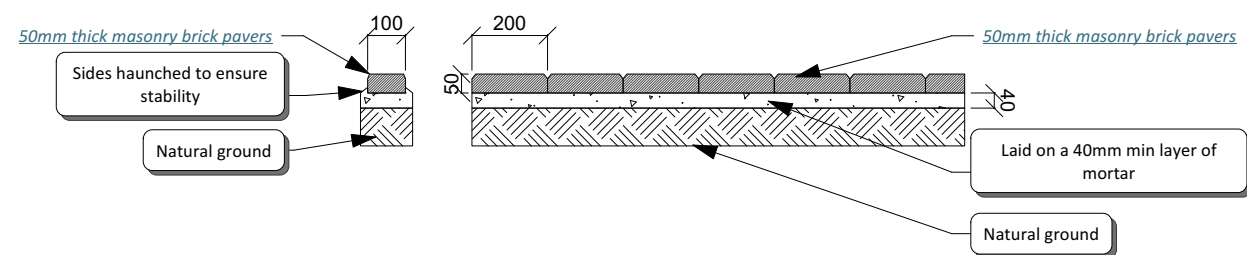
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Client Signatures:

- 1.
- 2.

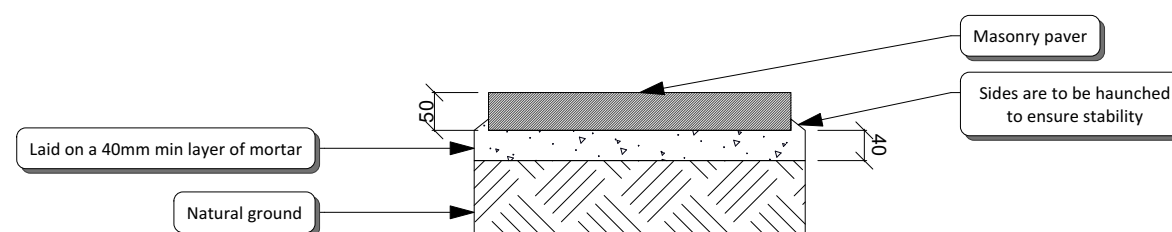
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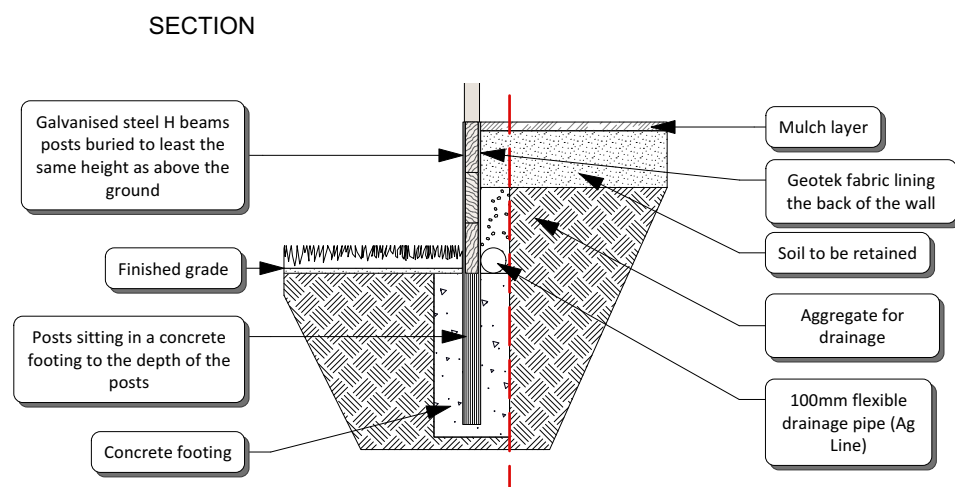
NOTES:

1. COLOURS CHOSEN ARE TO COMPLIMENT THE DWELLING
2. ENSURE THAT THE GROUND IS BELOW IS ADEQUATELY COMPACTED BEFORE LAYING THE MORTAR LAYER
3. ANY LAWN AREAS SHOULD BE BUTTED UP CLOSELY TO THE BRICK EDGING



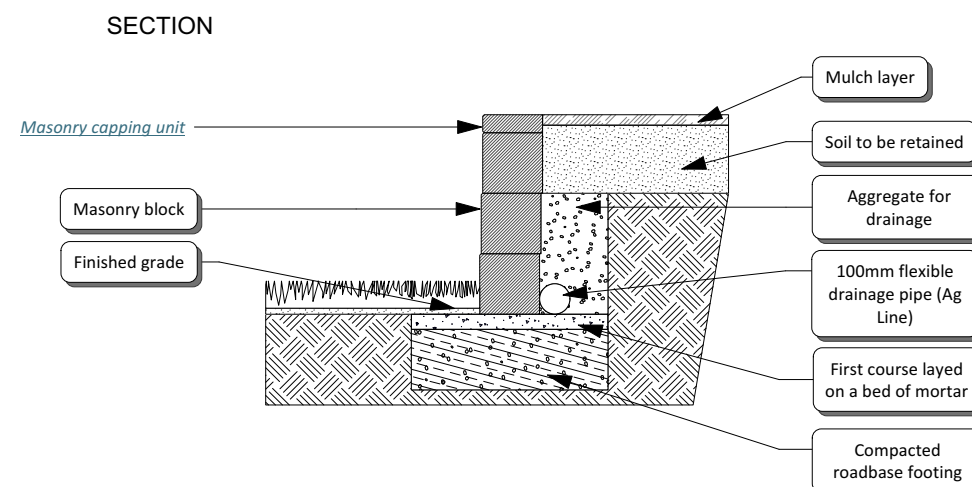
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NOTES:

1. THE DRAINAGE PIPE IS TO HAVE A CONTINUOUS DOWN SLOPE TO ENSURE ADEQUATE DRAINAGE
2. ENSURE THAT NO PART OF THE FOOTING IS EXPOSED
3. THE GROUND BELOW THE RETAINING WALL SHOULD HAVE A SLIGHT SLOPE AWAY FROM THE WALL SO THAT WATER DRAINS AWAY
4. ALL DRAINAGE AND AG LINES ASSOCIATED WITH RETAINING WALLS ARE TO BE CONTAINED FULLY WITHIN THE SUBJECT PROPERTY



NOTES:

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Belfield

Lodgement/Council:
D.A/C.C - Canterbury

Date Drawn: 23/09/22	Drawn: JQ	Sheet: 05 of 05
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Scale: 1:200

Client Signatures:

- 1.
- 2.